



LAKE & WATER

PRELIMINARY PUD SUBMITTAL

PROJECT TEAM

DEVELOPER
MITHUN COMPANIES
 900 E. Wayzata Blvd
 Wayzata, MN 55391

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DEVELOPMENT CONSULTANT
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ARCHITECT
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 7645 Lyndale Avenue South Suite 100
 Richfield, MN 55423

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URBAN ECOSYSTEMS LANDSCAPE ARCHITECTS
 2500 University Ave. W #C8
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CIVIL ENGINEER
SAMBATEK
 12800 Whitewater Drive Suite 300
 Minnetonka, MN 55343

Mark Anderson, PE
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 763.259.6666

PROJECT INFO

SITE LOCATION
 10 WATER ST
 EXCELSIOR, MN 55331



SITE AREA

CURRENT/EXISTING LOTS	AREA
LOT 10 - 10 WATER ST	.79 ACRES (34,405 SF)
LOT 26 - 26 WATER ST	.2 ACRES (8,711 SF)
LOT 28 - 28 WATER ST	.37 ACRES (16,078 SF)
LOT 29 - 63 WATER ST	.03 ACRES (1,513 SF)
TOTAL LOT AREA	1.39 ACRES (60,707 SF)

TOTAL LOT COVERAGE

TYPE	PERCENTAGE	AREA
IMPERVIOUS	94.2%	3,496 SF
PUBLIC ALLEY		1,748 SF
PARKING		7,638 SF
PRIVATE		7,245 SF

ZONING

CURRENT ZONING	PROPOSED ZONING
LOT 10 - 10 WATER ST	DC - DOWNDOWN COMMERCIAL
LOT 26 - 26 WATER ST	DC - DOWNDOWN COMMERCIAL
LOT 28 - 28 WATER ST	DC - DOWNDOWN COMMERCIAL
LOT 29 - 63 WATER ST	CC- COTTAGE COMMERCIAL

2040 LAND USE: CENTRAL BUSINESS DISTRICT
 PROPOSED ZONING: PUD

PARKING

AUTOMOBILE PARKING: APARTMENT GARAGE	STALLS
STANDARD	51 STALLS
TANDEM	08 STALLS
COMPACT	09 STALLS
ADA ACCESSIBLE	02 STALLS
TOTAL PARKING PROVIDED	70 STALLS

AUTOMOBILE PARKING: SURFACE LOT

TYPE	STALLS
STANDARD	20 STALLS
TIME RESTRICTED	03 STALLS
ADA ACCESSIBLE	01 STALLS
TOTAL PARKING PROVIDED	24 STALLS

BICYCLE PARKING

TYPE	SPACES
EXTERIOR PARKING	08 SPACES
INTERIOR PARKING	34 SPACES
TOTAL PARKING PROVIDED	42 SPACES

DOCK CINEMA BUILDING AREA

FLOOR	AREA
1ST FLOOR	3,620 SF
2ND FLOOR	1,748 SF
TOTAL GROSS BUILDING AREA	5,368 SF

UNIT MIX

UNIT TYPE	SIZE RANGE	QTY	PERCENTAGE
1 BED	634...896 SF	13	32.5 %
1 BED DEN	857...1,107 SF	09	22 %
2 BED	1,177...1,539 SF	12	30 %
2 BED DEN	1,411...1,625 SF	06	15 %
3 BED	1,871 SF	01	.5 %
TOTAL		40	100 %

MIXED USE BUILDING AREA

TYPE	AREA
GARAGE TOTAL	29,250 SF
PARKING	28,250 SF
COMMON & AMMENITY	1,000 SF
1ST FLOOR TOTAL	24,300 SF
RETAIL	6,775 SF
LIVING	12,500 SF
COMMON & AMMENITY	4,675 SF
2ND FLOOR TOTAL	21,850 SF
LIVING	21,850 SF
3RD FLOOR TOTAL	21,850 SF
LIVING	21,850 SF

TOTAL GROSS BUILDING AREA

TYPE	AREA
TOTAL GROSS BUILDING AREA	107,700 SF
TOTAL PARKING	28,250 SF
TOTAL RESIDENTIAL	68,000 SF
TOTAL COMMON & AMMENITY	4,675 SF
TOTAL RETAIL	6,775 SF

DRAWING INDEX

COVERSHEET

CIVIL

- S01 ALTA/NSPS Land Title Survey
- S02 ALTA/NSPS Land Title Survey with Topography
- S03 Preliminary Plat
- C01 Site Plan
- C02 Grading Plan
- C03 Utility Plan

LANDSCAPE

- L01 Landscape Plan
- L02 Landscape Plan

ARCHITECTURAL

- A01 Site Context
- A02 Architectural Site Plan
- A03 Floor Plans - 10 Water
- A04 Conceptual Materials
- A05 Building Elevations
- A06 Building Elevations
- A07 Building Elevations
- A08 Floor Plans - Dock Cinema
- A09 Elevations - Dock Cinema
- A10 Renderings
- A11 Renderings



Tushie Montgomery Architects
 7645 Lyndale Ave S Suite 100
 Minneapolis, MN 55423

Prepared For



Project

Lake & Water
 10 Water St, Excelsior, MN 55331

Phase

Preliminary PUD

NOT FOR CONSTRUCTION

Issuance

Preliminary PUD 04.01.2025

Revisions

224158A

Cover Sheet

00

LEGEND	
●	FOUND MONUMENT
○	FOUND JLM PURSUANT TO TORRENS CASE #19641
⊙	FOUND RIGHT-OF-WAY MONUMENT
○	SET MONUMENT MARKED LS 53642
⊗	GATE VALVE / HYDRANT
⊕	SANITARY MANHOLE
⊖	STORM MANHOLE
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⊕	FLARED END SECTION
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---	BOUNDARY LINE
---	RIGHT-OF-WAY LINE
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---	SECTION LINE
(100.00)	DEED DISTANCE
---	WATERMAIN
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---	RETAINING WALL
---	CONCRETE CURB
---	BUILDING LINE
---	BUILDING CANOPY
---	BITUMINOUS SURFACE
---	CONCRETE SURFACE
999.9	SPOT ELEVATION
---	CONTOUR

- ### SURVEY NOTES
- This survey was prepared utilizing Title Commitment File No. ORTE749999 by Old Republic National Title Insurance Company, bearing an effective date of 06/27/2024.
 - The bearing system is based on the Hennepin County coordinate system, NAD83 (1986 Adjust), with an assumed bearing of S89°05'58"E for the North line of Northeast Quarter, Section 34, Township 117, Range 23.
 - The vertical datum is based on NGVD 29. The originating bench mark is ANDERSON, referenced from the MnDOT Geodetic Database.
 - BENCHMARK #1
TNH. Elev.=940.45 (At the Northeast corner of Water Street and Lake Street)
 - BENCHMARK #2
FFE. Elev.=944.65 (Northerly front entrance of 26 Water Street)
 - Topographic Survey and underground utility data shown on page 2.
 - Property description for Tract 1 per title commitment and vesting deed dated 12/20/2023, has not been revised to follow the northeasterly line of Tract 2 pursuant to order in Torrens Case No. 19641. Said description for Tract 1 would create a 0.4 foot overlap along its southerly 126.50 feet.

- ### SUBJECT PROPERTY
- Description from title commitment:
- TRACT 1:
All that part of Lot 29, Auditor's Subdivision No. 135, Hennepin County, Minnesota described as follows:
Commencing at the most Northerly corner of Lot 29, thence Southeasterly to the most Easterly corner of Lot 29, thence Southwesterly along the Southeasterly line of said Lot 29, a distance of 145 feet, thence Northwesterly and at right angles to the Southeasterly line of said Lot 29, a distance of 224.6 feet to the Northwesterly line of said Lot 29, thence Northwesterly along said Northwesterly line to the point of beginning, according to the recorded plat thereof.
Abstract Property
- TRACT 2:
(Parcel 1)
That part of Lot 29, Auditor's Subdivision Number 135, Hennepin County, Minnesota, described as follows:
Commencing at the most Easterly corner of said Lot 29, thence Southwesterly along the Southeasterly line of said Lot 29, a distance of 144.60 feet to the actual point of beginning; thence Northwesterly, at a right angle, a distance of 126.50 feet; thence Southwesterly, at a right angle, a distance of 0.40 of a foot; thence Northwesterly, at a right angle, to the most Northwesterly line of said Lot 29; thence Southwesterly along said most Northwesterly line to a point 51.00 feet Northwesterly from the most Northerly corner of Lot 28, in said Auditor's Subdivision; thence Southeasterly, parallel with the Northwesterly line of said Lot 28, a distance of 40.00 feet; thence Southwesterly, parallel with said most Northwesterly line, a distance of 51.00 feet to the Northwesterly line of said Lot 28; thence Southwesterly along said Northwesterly line and its extension to the Southeasterly line of said Lot 29; thence Northwesterly along said Southeasterly line to the actual point of beginning.
- (Parcel 2)
That part of Lot 29, Auditor's Subdivision Number 135, Hennepin County, Minnesota, described as follows:
Beginning at a point on the Northeasterly line of Lot 28, in said Auditor's Subdivision, distant 18.7 feet Southwesterly from the most Northerly corner of said Lot 28; thence Southeasterly along said Northeasterly line a distance of 21.3 feet; thence Northwesterly, parallel with the most Northwesterly line of said Lot 29, a distance of 51 feet; thence Northwesterly, parallel with said Northwesterly line of said Lot 28, to said most Northwesterly line of Lot 29; thence Southwesterly along said most Northwesterly line to the most Easterly corner of Lot 27, in said Auditor's Subdivision; thence Southwesterly to the point of beginning.
- The Northeasterly boundary line of Parcel 1 has been marked by Judicial Landmarks set pursuant to Order in Torrens Case No. 19641.
- Being registered land as is evidenced by Certificate of Title No. 1124027.
- The following notes correspond to the reference numbers listed in Schedule B, Section 2 of the title commitment. Item nos. 1-7, 11, 14, 16 and 17 do not require surveyor comments.
- Terms, conditions and easements for surface water drainage purposes, as created in Easement Agreement, dated October 11, 1955, filed June 11, 1956, in Book 2091, page 63, as Document No. 3011339. As amended by Amended Easement Agreement dated June 27, 1991, filed July 26, 1991 as Document No. 5806578. (as to Tracts 1 and 2) **According to the description in said document, the easement lies within the surveyed property as shown hereon.**
 - Terms, conditions and easements as contained in that certain Grant and Assignment of Easements, dated August 20, 1956, filed December 5, 1956, as Document No. 3043352. (as to Tracts 1 and 2) **According to the description in said document, the easement lies within the surveyed property as shown hereon.**
 - Terms, conditions and easements for driveway purposes as contained in that certain Deed of Appurtenant Easement, dated November 27, 1991, filed January 15, 1992, as Document No. 5865283. The above instrument was filed in the office of the Registrar of Titles on January 21, 1992, as Document No. 2230358. (as to Tracts 1 and 2) **According to the description in said document, the easement lies within the surveyed property as shown hereon.**
 - Terms, conditions and easements set forth in Declaration of Covenants and Easements dated October 23, 1989, filed November 22, 1989 as Document No. 5599089. (as to Tract 2) **According to the description in said document, the ingress easement does not lie within the surveyed property and is not graphically depicted hereon, it benefits the property for access. The exhibit containing a site plan differs from the current conditions of the property.**
 - Easements set forth in Deed filed July 3, 1956 as Document No. 3015557, Deed filed December 5, 1956 as Document No. 3043351 and Deed filed July 29, 1983 as Document No. 4813449. (as to Tract 2) **According to the description in said document, the access easement lies within the surveyed property as shown hereon. The surface drainage easement is not accurately described and is not shown hereon.**
 - Matters as set forth on Memorial Plat filed September 25, 1991 as Document No. 2205360 (as to Tracts 1 and 2) **Judicial Landmarks set pursuant to Torrens case No. 19641 were found and are shown hereon.**

- ### "TABLE A" NOTES
- The survey shows property corner monuments or witness to the corner that were found during the field work, as well as property corner monuments or witness to the corner set by the surveyor at locations where there did not appear to be any evidence of an existing monument.
 - The address of the surveyed property is shown on the graphical portion of the survey.
 - The surveyed property lies within Flood Plain Zone X - "Areas determined to be outside the 0.2% annual chance flood plain", as depicted by scaled map location and graphic plotting according to FEMA, FIRM Map No. 27053C0314F dated 11/04/2016.
 - The gross land area of the surveyed property is 1.393 Acres or 60,670 Square Feet.
 - The zoning information has not been provided by the client.
 - The building(s) and exterior dimensions of the outside wall at ground level are shown on the survey, which may or may not be the foundation wall.
 - The square footage of the building is 10,375 square feet, measured at ground level.
 - Visible substantial features observed in the process of conducting the fieldwork are shown hereon.
 - The parking areas and striping on the surveyed property are shown. There are no striped handicap parking stalls, and there are 31 striped regular parking stalls.
 - Evidence of underground utilities existing on or serving the surveyed property is shown per the following:
 - Plans and/or reports provided by GSOC ticket.
 - A Gopher State One Call (GSOC) request was placed on 07/01/2024 and assigned GSOC Ticket No. 241834370 and 241834383.
 Utility information shown hereon is a compilation of provided map information and those visible utilities and marked utilities which were located during the survey field work. Utility suppliers often do not respond to locate requests in the field but may provide maps, plans, and drawings in lieu of physical location. The surveyor makes no guarantees that the underground utilities shown hereon comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown hereon are in the exact location as indicated, although they are located as accurately as possible from the available information. The surveyor has not physically located the underground utilities. Pursuant to MS 216.D contact Gopher State One Call at (651-454-0002) prior to any excavation.
 - The names of adjoining land owners according to the current county tax records as of 7/31/2024 are shown on the survey.

CERTIFICATION

To Mithun Enterprises; Water & Lake Hotel, LLC; Properties of Excelsior, LLC; and Old Republic National Title Insurance Company:

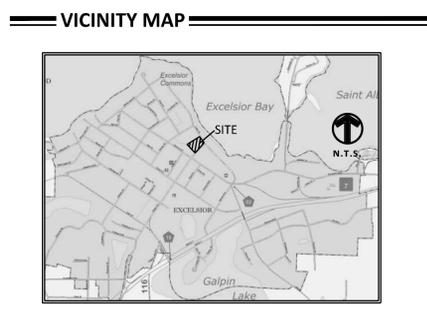
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 7(a), 8, 9, 11(a) and 13 of Table A thereof. The field work was completed on 07/29/2024.

Dated this 31st day of July, 2024.

Sambatek, Inc.

Jared Averbeck
Minnesota License No. 53642
javerbeck@sambatek.com

12800 Whitewater Drive, Suite 300
Minnetonka, MN 55343



NO	DATE	BY	CKD	APPR	COMMENT

I hereby certify that this plan, survey, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Print Name: Jared Averbeck

Date 7/31/2024 License # 53642

DATE ISSUED
7/31/2024

DRAWN BY
JJA

DESIGNED BY

CHECKED BY
JJA

PROJECT NO.
53145



ALTA/NSPS LAND TITLE SURVEY

MITHUN ENTERPRISES
10 WATER STREET
EXCELSIOR, MINNESOTA

SHEET
S01
OF
REV.

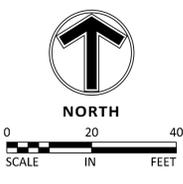
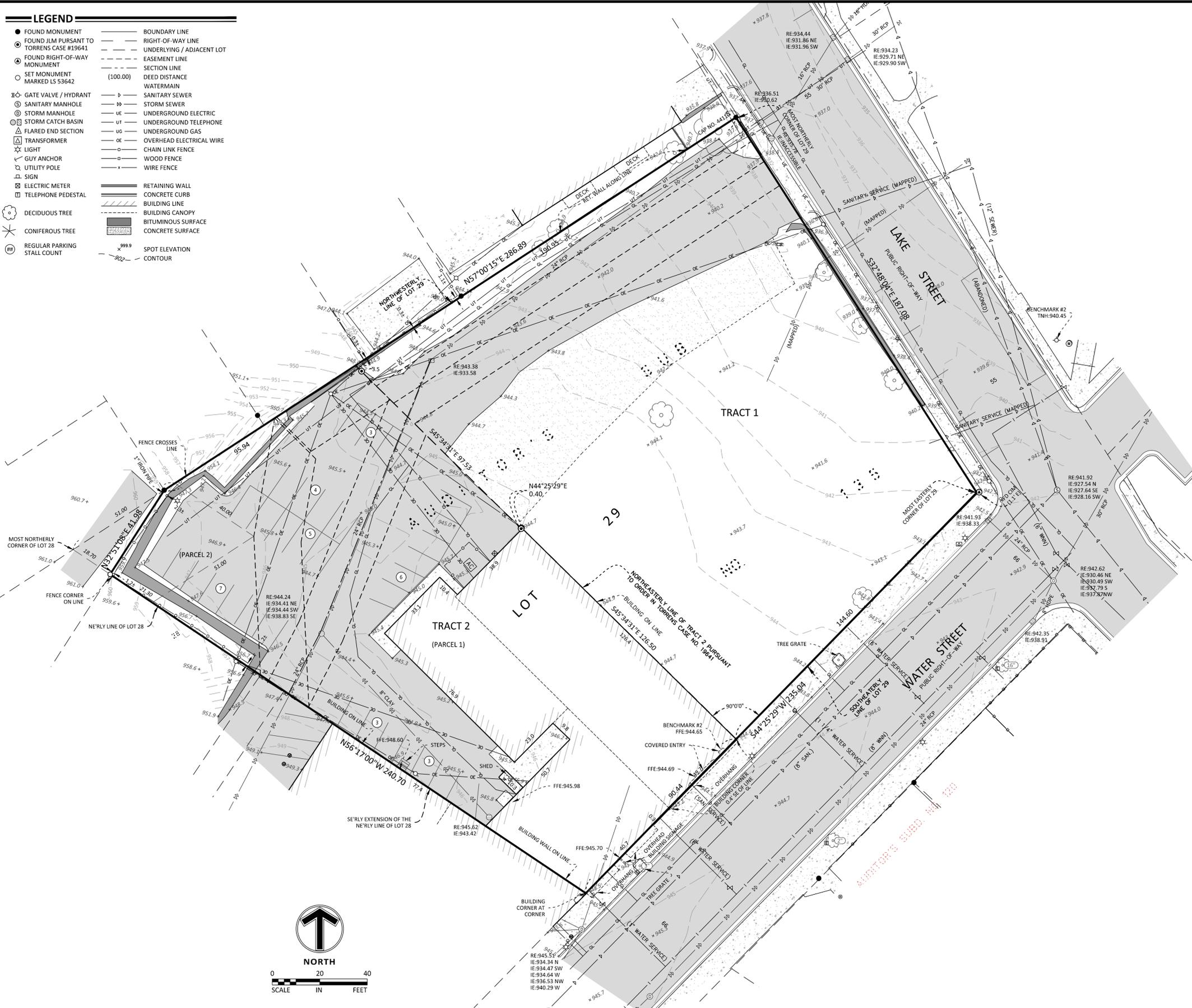
24.15 (LMS TECH) | 3/31/2025 10:41:10 AM | PROJECT: 53145 CAD SURVEY SHEETS: 53145 ALTA 3:31:25.DWG

LEGEND

- FOUND MONUMENT
- FOUND J/M PURSUANT TO TORRENS CASE #19641
- ⊙ FOUND RIGHT-OF-WAY MONUMENT
- SET MONUMENT MARKED LS 53642
- ⊗ GATE VALVE / HYDRANT
- ⊙ SANITARY MANHOLE
- ⊙ STORM MANHOLE
- ⊙ STORM CATCH BASIN
- ⊙ FLARED END SECTION
- ⊙ TRANSFORMER
- ⊙ LIGHT
- ⊙ GUY ANCHOR
- ⊙ UTILITY POLE
- ⊙ SIGN
- ⊙ ELECTRIC METER
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- ⊙ DECIDUOUS TREE
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- CONCRETE CURB
- BUILDING LINE
- BUILDING CANOPY
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- 999.9 SPOT ELEVATION
- 302 CONTOUR

SURVEY NOTES

1. The bearing system is based on the Hennepin County coordinate system, NAD83 (1986 Adjust), with an assumed bearing of 589°05'58"E for the North line of Northeast Quarter, Section 34, Township 117, Range 23.
 2. The vertical datum is based on NGVD 29. The originating bench mark is ANDERSON, referenced from the MnDOT Geodetic Database.
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FFE. Elev.=944.65 (Northerly front entrance of 26 Water Street)



24.15 (LMS TECH) | TREVOR CONWAY | 3/31/2025 10:41:10 AM | PROJECTS\53145\CAD\SURVEYS\53145_ALTA_3_31_25.DWG

NO	DATE	BY	CKD	APPR	COMMENT

I hereby certify that this plan, survey, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Print Name: Jared Averbeck

Date 7/31/2024 License # 53642

DATE ISSUED
7/31/2024

DRAWN BY
JIA

DESIGNED BY

CHECKED BY
JIA

PROJECT NO.
53145

ALTA/NSPS LAND TITLE SURVEY WITH TOPOGRAPHY

MITHUN ENTERPRISES
10 WATER STREET
EXCELSIOR, MINNESOTA

SHEET
S02
OF
REV.

LEGEND

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- BUILDING LINE
- BUILDING CANOPY
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- 999.9 SPOT ELEVATION
- 902 CONTOUR

DESCRIPTION

TRACT 1:
All that part of Lot 29, Auditor's Subdivision No. 135, Hennepin County, Minnesota described as follows:

Commencing at the most Northerly corner of Lot 29, thence Southeasterly to the most Easterly corner of Lot 29, thence Southwesterly along the Southeasterly line of said Lot 29, a distance of 145 feet, thence Northwesterly and at right angles to the Southeasterly line of said Lot 29, a distance of 224.6 feet to the Northwesterly line of said Lot 29, thence Northwesterly along said Northwesterly line to the point of beginning, according to the recorded plat thereof.
Abstract Property

TRACT 2:
(Parcel 1)
That part of Lot 29, Auditor's Subdivision Number 135, Hennepin County, Minnesota, described as follows:

Commencing at the most Easterly corner of said Lot 29; thence Southwesterly along the Southeasterly line of said Lot 29 a distance of 144.60 feet to the actual point of beginning; thence Northwesterly, at a right angle, a distance of 126.50 feet; thence Southwesterly, at a right angle, a distance of 0.40 of a foot; thence Northwesterly, at a right angle, to the most Northwesterly line of said Lot 29; thence Southwesterly along said most Northwesterly line to a point 51.00 feet Northeasterly from the most Northerly corner of Lot 28, in said Auditor's Subdivision; thence Southeasterly, parallel with the Northeasterly line of said Lot 28, a distance of 40.00 feet; thence Southwesterly, parallel with said most Northwesterly line, a distance of 51.00 feet to the Northeasterly line of said Lot 28; thence Southeasterly along said Northeasterly line and its extension to the Southeasterly line of said Lot 29; thence Northwesterly along said Southeasterly line to the actual point of beginning.

(Parcel 2)
That part of Lot 29, Auditor's Subdivision Number 135, Hennepin County, Minnesota, described as follows:

Beginning at a point on the Northeasterly line of Lot 28, in said Auditor's Subdivision, distant 18.7 feet Southeasterly from the most Northerly corner of said Lot 28; thence Southeasterly along said Northeasterly line a distance of 21.3 feet; thence Northwesterly parallel with the most Northwesterly line of said Lot 29, a distance of 51 feet; thence Northwesterly, parallel with said Northeasterly line of said Lot 28, to said most Northwesterly line of Lot 29; thence Southwesterly along said most Northwesterly line to the most Easterly corner of Lot 27, in said Auditor's Subdivision; thence Southwesterly to the point of beginning.

The Northeasterly boundary line of Parcel 1 has been marked by Judicial Landmarks set pursuant to Order in Torrens Case No. 19641.

Being registered land as is evidenced by Certificate of Title No. 1124027.

PROPERTY SUMMARY

TOTAL SITE AREA: 60,670 S.F. (GROSS)

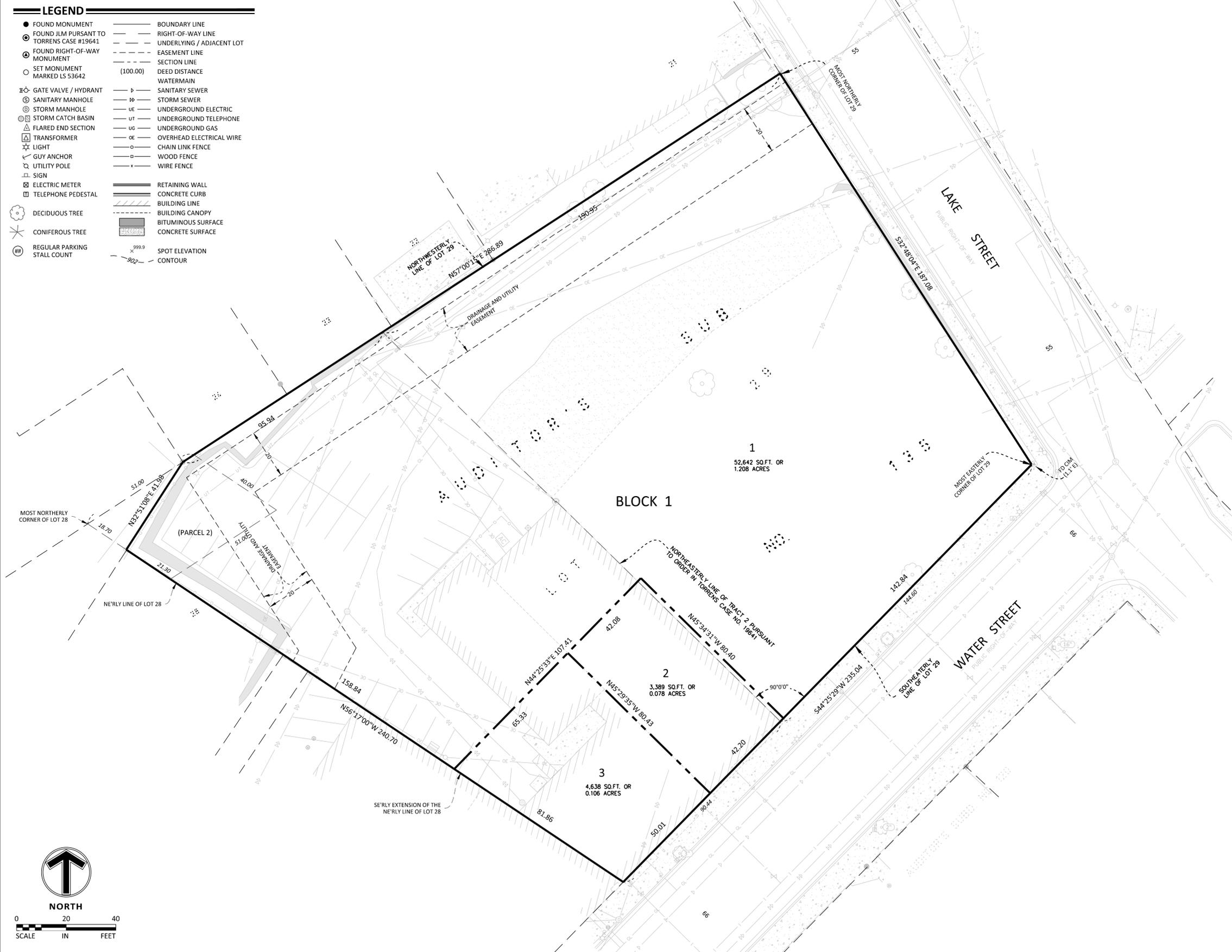
ZONING INFORMATION

ZONING
EXISTING ZONING: B-1
PROPOSED ZONING: PUD

DEVELOPMENT NOTES

1. ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
2. DRAINAGE AND UTILITY EASEMENTS SHALL BE PROVIDED AS REQUIRED. DRAINAGE AND UTILITY EASEMENTS WILL BE PROVIDED OVER ALL PUBLIC UTILITIES AND UP TO 1 FOOT ABOVE THE HIGH WATER LEVEL OF ALL PONDS.
3. UTILITY INFORMATION SHOWN HEREON IS A COMPILATION OF PROVIDED MAP INFORMATION AND THOSE VISIBLE UTILITIES AND MARKED UTILITIES WHICH WERE LOCATED DURING THE SURVEY FIELD WORK. UTILITY SUPPLIERS OFTEN DO NOT RESPOND TO LOCATE REQUESTS IN THE FIELD BUT MAY PROVIDE MAPS, PLANS, AND DRAWINGS IN LIEU OF PHYSICAL LOCATION. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION AS INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE AVAILABLE INFORMATION. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. PURSUANT TO MS 216.D CONTACT GOPHER STATE ONE CALL AT (651-454-0002) PRIOR TO ANY EXCAVATION.

A GOPHER STATE ONE CALL (GSOC) REQUEST WAS PLACED ON 07/01/2024 AND ASSIGNED GSOC TICKET NO. 241834370 AND 241834383



24.15 (LWS TECH) | TREVOR CONWAY | 3/31/2025 10:47:51 AM | L:\PROJECTS\533145\CAD\SURVEY\SHEETS\533145 PREL\PLAT.DWG.1

NO	DATE	BY	CKD	APPR	COMMENT
1	4-1-25	TK	TC	MA	Preliminary Plan Submittal

I hereby certify that this plan, survey, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
Print Name: _____
Date _____ License # _____

PRELIMINARY
4-1-25
DESIGN REVIEW

PERMIT SUBMITTAL

CONSTRUCTION DOCUMENTS

DRAWN BY

DESIGNED BY

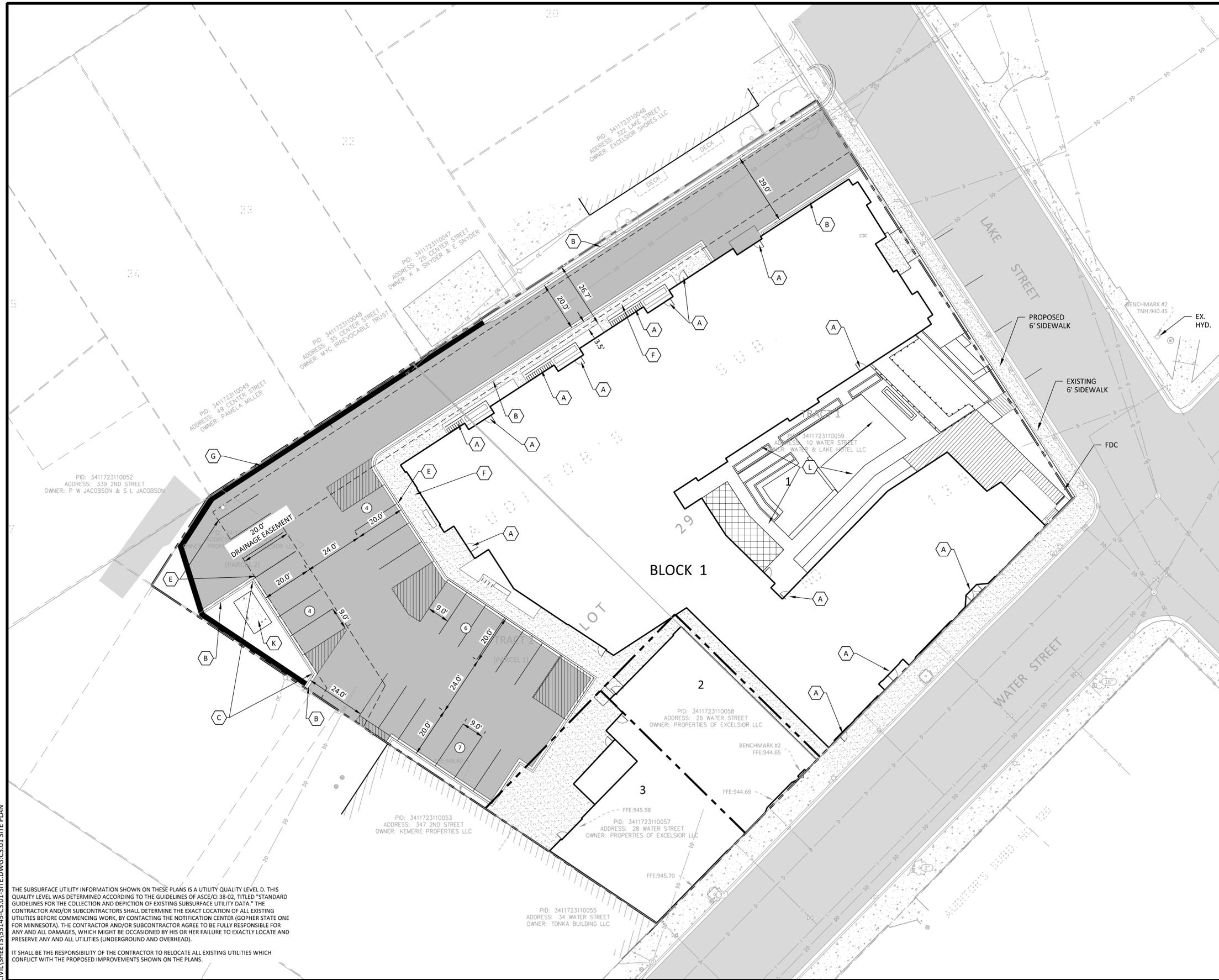
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PROJECT NO.
53145



PRELIMINARY PLAT
MITHUN ENTERPRISES
EXCELSIOR MIXED USE
EXCELSIOR, MN

SHEET
S03
OF
REV.

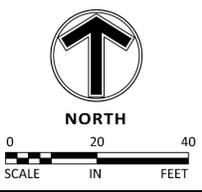


LEGEND	
	PROPOSED BOUNDARY LINE
	EXISTING BOUNDARY LINE
	PROPOSED CONCRETE CURB
	EXISTING CONCRETE CURB
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	PROPOSED BUILDING LINE
	EXISTING BUILDING LINE
	PROPOSED RETAINING WALL
	EXISTING RETAINING WALL
	PROPOSED WETLAND
	EXISTING WETLAND
	PROPOSED TREE LINE
	EXISTING TREE LINE
	PROPOSED SAW CUT LINE
	EXISTING SAW CUT LINE
	PROPOSED SIGN
	EXISTING SIGN
	PROPOSED BOLLARD
	EXISTING BOLLARD
	PARKING STALL COUNT
	KEY NOTE
	LIGHT POLE (BY OTHERS)

DEVELOPMENT SUMMARY			
AREA GROSS SITE AREA	60,670 SF 1.39 AC	ZONING EXISTING ZONING	B-1 PUD
LOT 1	52,642 SF 1.21 AC	PROPOSED ZONING	
LOT 2	3,389 SF 0.08 AC		
LOT 3	4,638 SF 0.11 AC		
PARKING SUMMARY		21 STALLS	
STANDARD PROVIDED		0 STALLS	
ADA PROVIDED		68 STALLS	
GARAGE STALLS			

- DEVELOPMENT NOTES**
- ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
 - ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER OUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB. COORDINATE WITH GRADING CONTRACTOR.
 - ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
 - ALL PARKING STALLS TO BE 9' IN WIDTH AND 20' IN LENGTH UNLESS OTHERWISE INDICATED.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, AMENITY AREAS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - SEE ARCHITECTURAL PLANS FOR PYLON/MONUMENT SIGN DETAILS
 - SEE ARCHITECTURAL PLANS FOR LIGHT POLE FOUNDATION DETAIL AND FOR EXACT LOCATIONS OF LIGHT POLE.
 - REFER TO FINAL PLAT FOR LOT BOUNDARIES, LOT NUMBERS, LOT AREAS, AND LOT DIMENSIONS.
 - ALL GRADIENT ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.00% (1:50). MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE SHALL BE IN 2.00% (1:50). CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT. COORDINATE ALL WORK WITH PAVING CONTRACTOR.
 - "NO PARKING" SIGNS SHALL BE PLACED ALONG ALL DRIVEWAYS AS REQUIRED BY CITY.
 - CONTRACTOR SHALL PROVIDE RECORD PLANS AS REQUIRED BY PERMITTING AGENCIES.

- KEY NOTES**
- A. BUILDING DOORS, STOOPS, STAIRS (SEE ARCHITECTURAL PLANS)
 - B. B-612 CONCRETE CURB AND GUTTER
 - C. B-612 CONCRETE CURB AND GUTTER (GUTTER OUT)
 - D. CONCRETE APRON
 - E. TEMPORARY PARKING
 - F. CONCRETE SIDEWALK
 - G. RETAINING WALL
 - H. ADA ACCESS LOCATION
 - I. ACCESSIBLE STALL STRIPING
 - J. ACCESSIBLE PARKING SIGN
 - K. TRANSFORMER (SEE ARCHITECTURAL PLANS)
 - L. AMENITY AREA (SEE ARCHITECTURAL PLANS)



THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NO	DATE	BY	CKD	APPR	COMMENT
1	4-1-25	TK	TC	MA	Preliminary Plan Submittal

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: _____

Date: _____ License #: _____

PRELIMINARY
4-1-25
DESIGN REVIEW

DRAWN BY
TK

DESIGNED BY
TC

CHECKED BY
MA

PROJECT NO.
53145



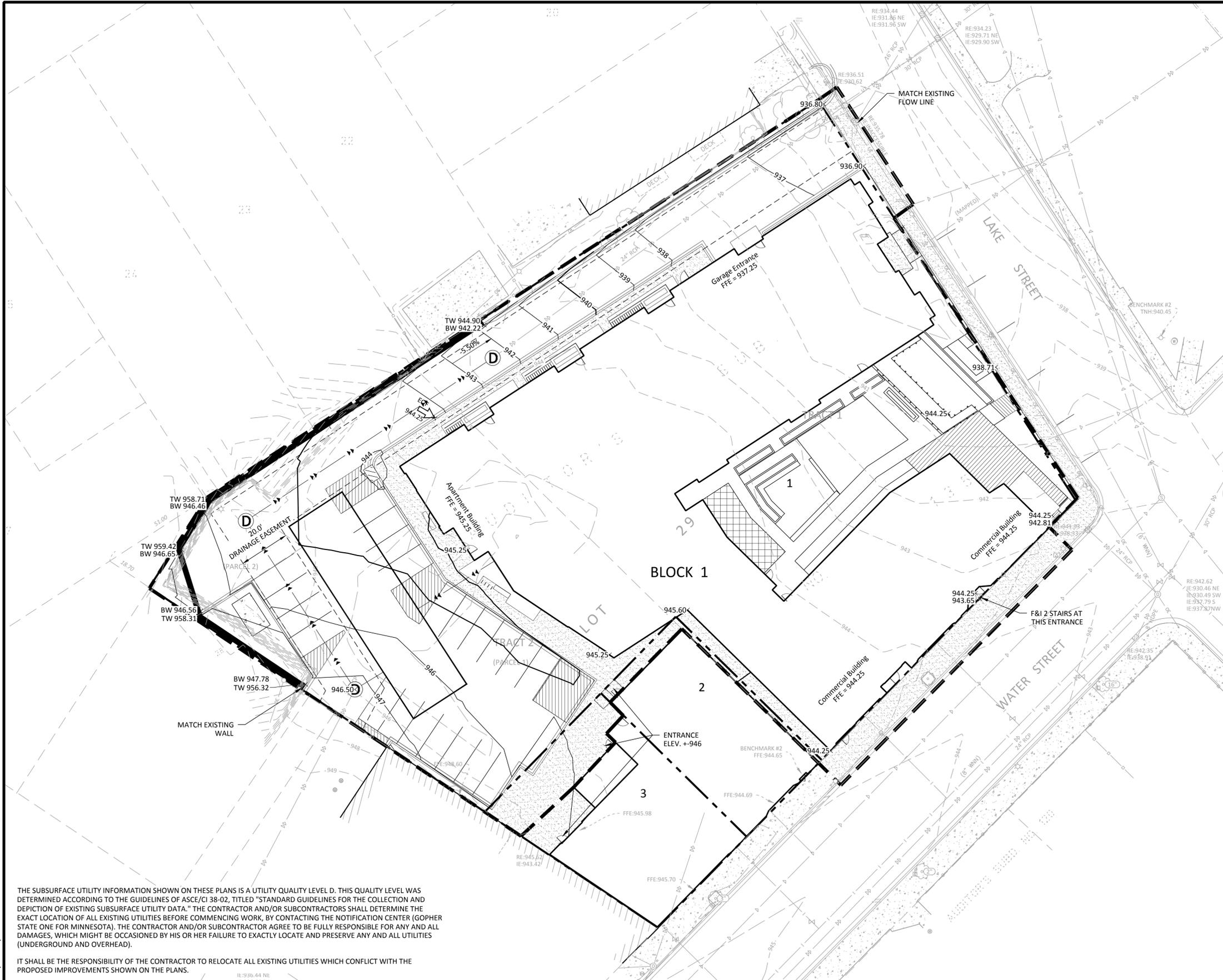
SITE PLAN

MITHUN ENTERPRISES
EXCELSIOR MIXED USE

EXCELSIOR, MN

SHEET
C01
--- OF ---
REV. ---

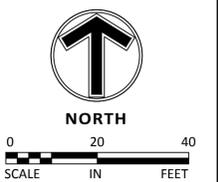
24.15 (LWS TECH) | TREVOR CONWAY | 3/31/2025 11:52:05 AM | L:\PROJECTS\53145\CAD\CIVIL\SHEETS\53145-C3-01-SITE.DWG.C3.01 SITE PLAN



LEGEND	
PROPOSED	EXISTING

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Date _____ License # _____

PRELIMINARY
4-1-25
DESIGN REVIEW

PERMIT SUBMITTAL

CONSTRUCTION DOCUMENTS

DRAWN BY
TK

DESIGNED BY
TC

CHECKED BY
MA

PROJECT NO.
53145



GRADING PLAN

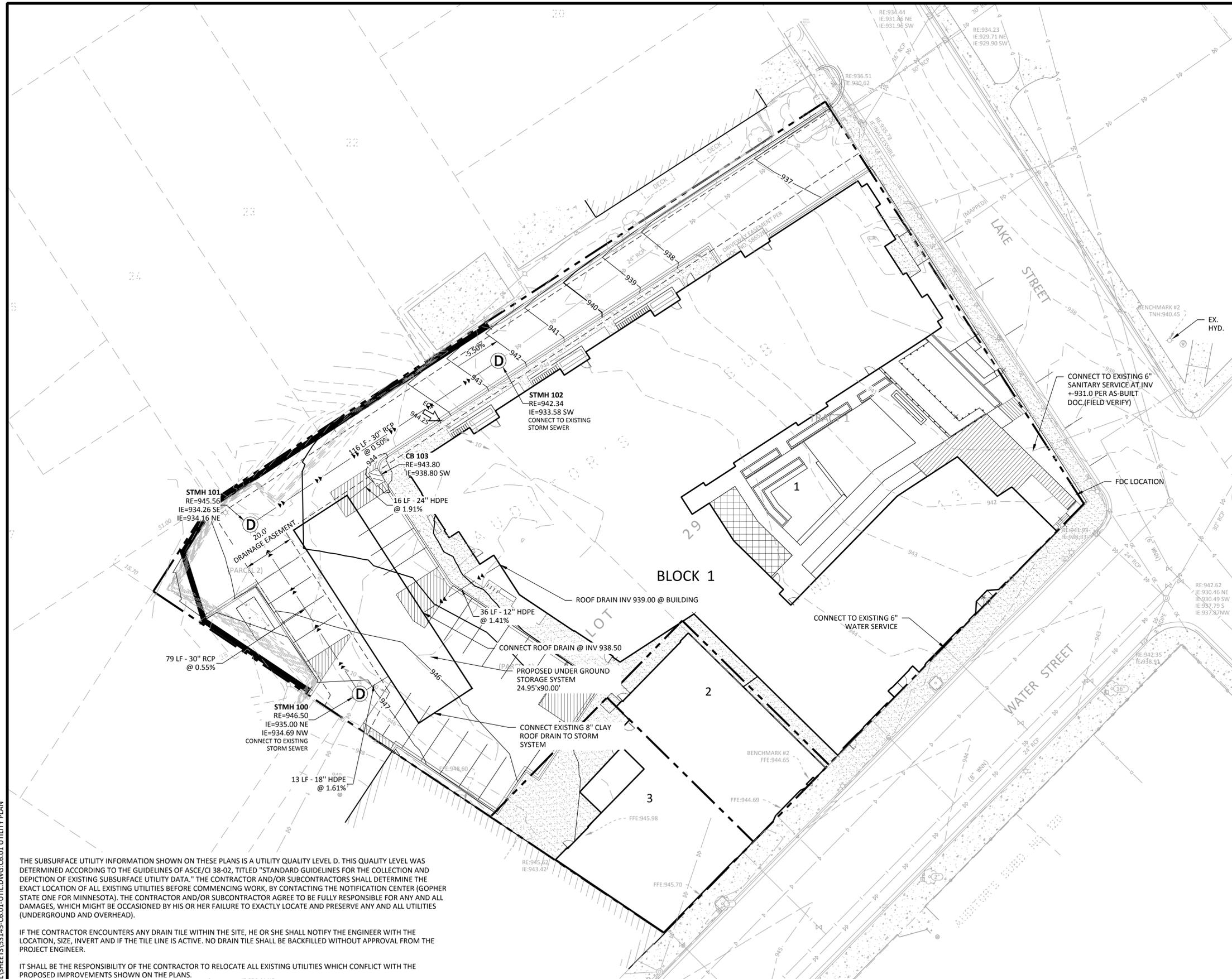
MITHUN ENTERPRISES
EXCELSIOR MIXED USE

EXCELSIOR, MN

SHEET
C02
OF
REV. ----

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LEGEND	
PROPOSED	EXISTING
	SANITARY SEWER
	FORCEMAIN (SAN.)
	STORM SEWER
	DRAINTILE
	WATERMAIN
	UNDERGROUND GAS LINE
	UNDERGROUND TELEPHONE
	UNDERGROUND ELECTRIC
	CONCRETE CURB
	EASEMENT LINE



THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NO	DATE	BY	CKD	APPR	COMMENT
1	4-1-25	TK	TC	MA	Preliminary Plan Submittal

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Date _____ License # _____

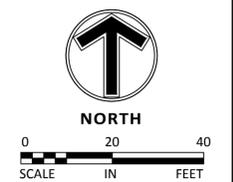
PRELIMINARY
4-1-25
DESIGN REVIEW
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CONSTRUCTION DOCUMENTS

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TK
DESIGNED BY
TC
CHECKED BY
MA
PROJECT NO.
53145



UTILITY PLAN
MITHUN ENTERPRISES
EXCELSIOR MIXED USE
EXCELSIOR, MN

SHEET
C03
--- OF ---
REV. ---



24.15 (LWS TECH) | TREVOR CONWAY | 3/31/2025 11:53:41 AM | L:\PROJECTS\533145\CAD\CIVIL\SHEETS\53145-CE-01-UTIL-DWG-C6.01 UTILITY PLAN

Prepared By



Prepared For



Project

Lake & Water
10 Water St. Excelsior, MN 55331

Phase

Preliminary PUD

NOT FOR CONSTRUCTION

Issuance

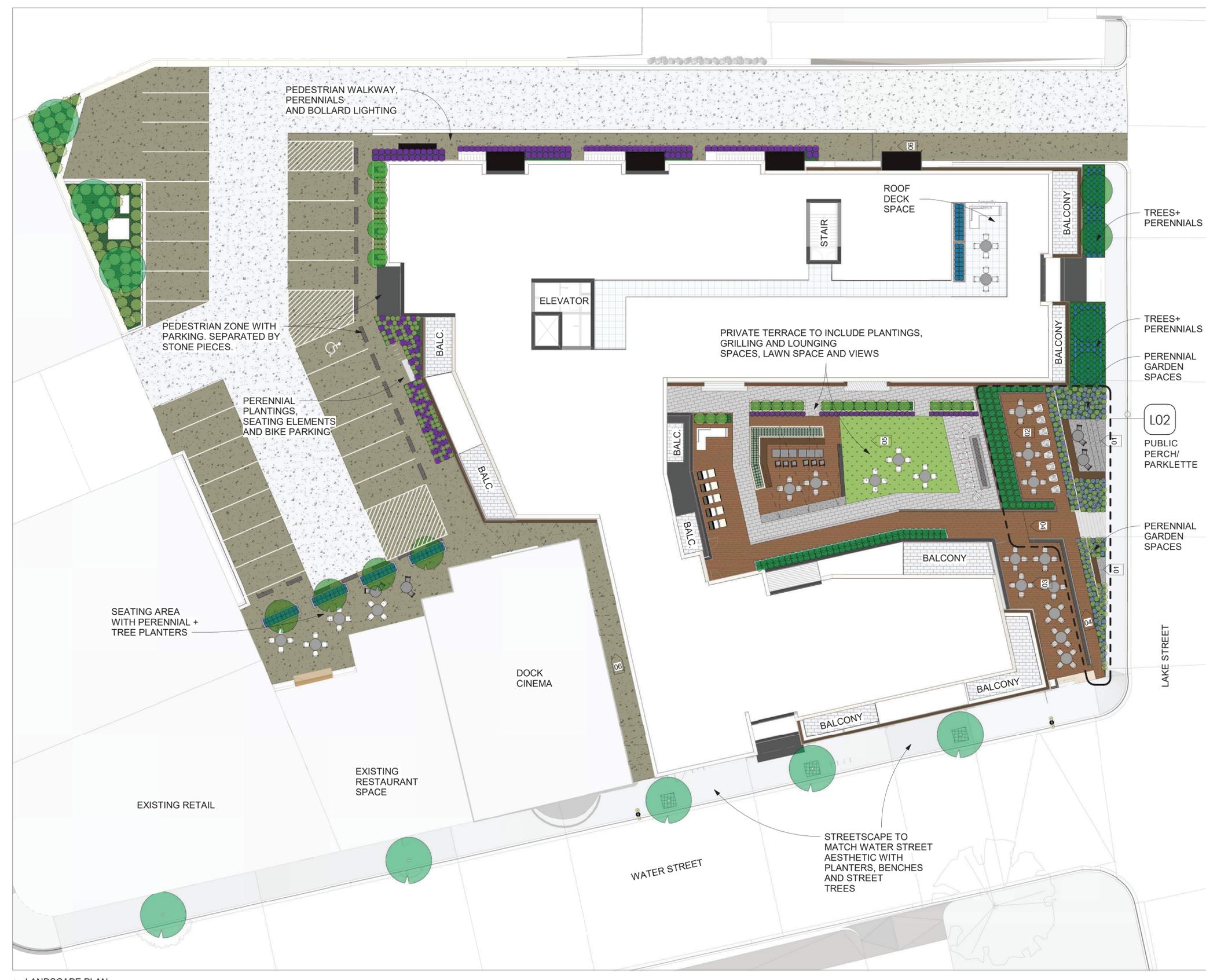
Preliminary PUD 04.01.2025

Revisions

2024-1134

LANDSCAPE PLAN

L01



LAYOUT KEYNOTES

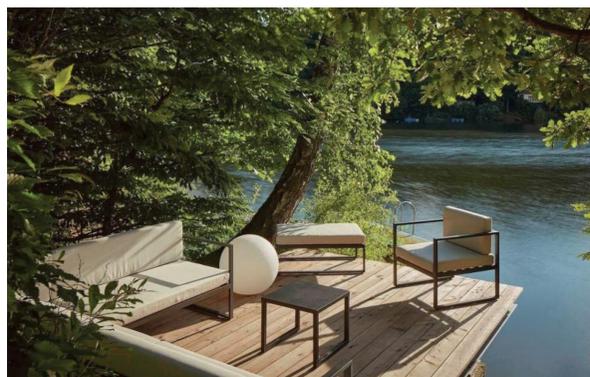
KEY	CONTENT
01	PUBLIC SEATING AREA AND GARDEN
02	PUBLIC PERCH
03	RESTAURANT SEATING
04	ACCESSIBLE WALKWAY
05	PRIVATE RESIDENT TERRACE
06	PUBLIC WALKWAY

MATERIALS LEGEND

-  CONCRETE TYPE 1
-  CONCRETE TYPE 2
-  PAVER TYPE 1
-  ROCK MULCH
-  PLANTING BEDS
-  WOOD DECKING
-  TURF GRASS
-  STONE
-  PLANTINGS

1 LANDSCAPE PLAN
1/16" = 1'-0"

Landscape Precedents and Materiality



Public Perch and Parklette Concept



NOT FOR CONSTRUCTION

Legend:

- 1 Commercial - 1 story
- 1.5 Commercial - 1.5 story
- 2 Commercial - 2 story
- 2.5 Commercial - 2.5 story
- 2 Residential - 2 story
- 3 Residential - 3 story

Existing Zoning Legend:

- R2, Single and Two Family
- R4, High Density Residential
- DC, Downtown Commercial
- CC, Cottage Commercial
- P, Public Park
- PI, Public Institutional

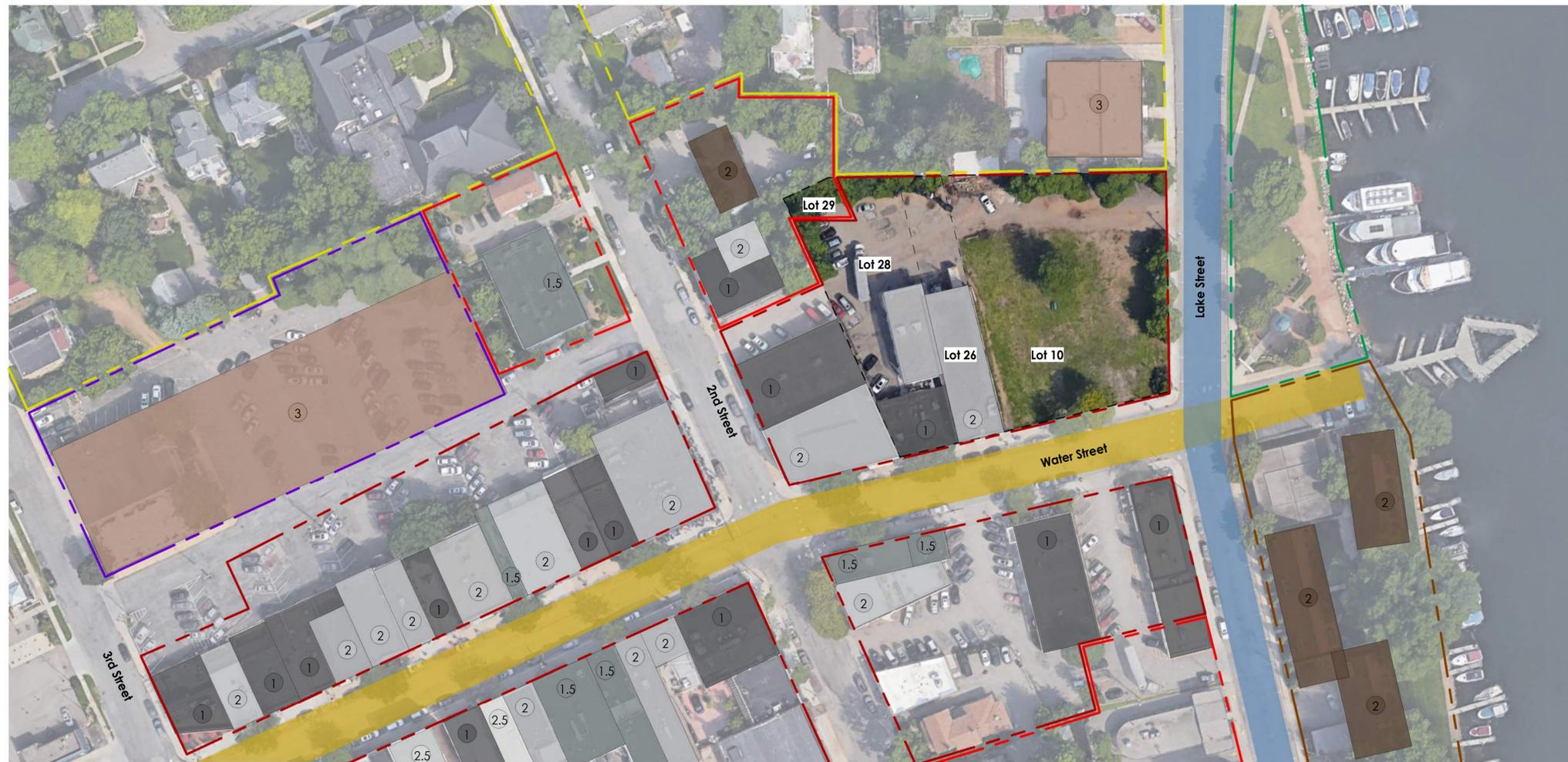
Site Information:

Current/ Existing Lots

- Lot 10 - 10 Water St.
0.79 acres/ 34,405 Sq Ft
- Lot 26 - 26 Water St.
0.2 acres/ 8,711 Sq Ft
- Lot 28 - 28 Water St.
0.37 acres/ 16,078 Sq Ft
- Lot 29- 63 Address Unassigned
.03 acres/ 1,513 Sq Ft

PUD Combined lots

(includes all lots listed above)
1.39 acres/ 60,707 Sq Ft

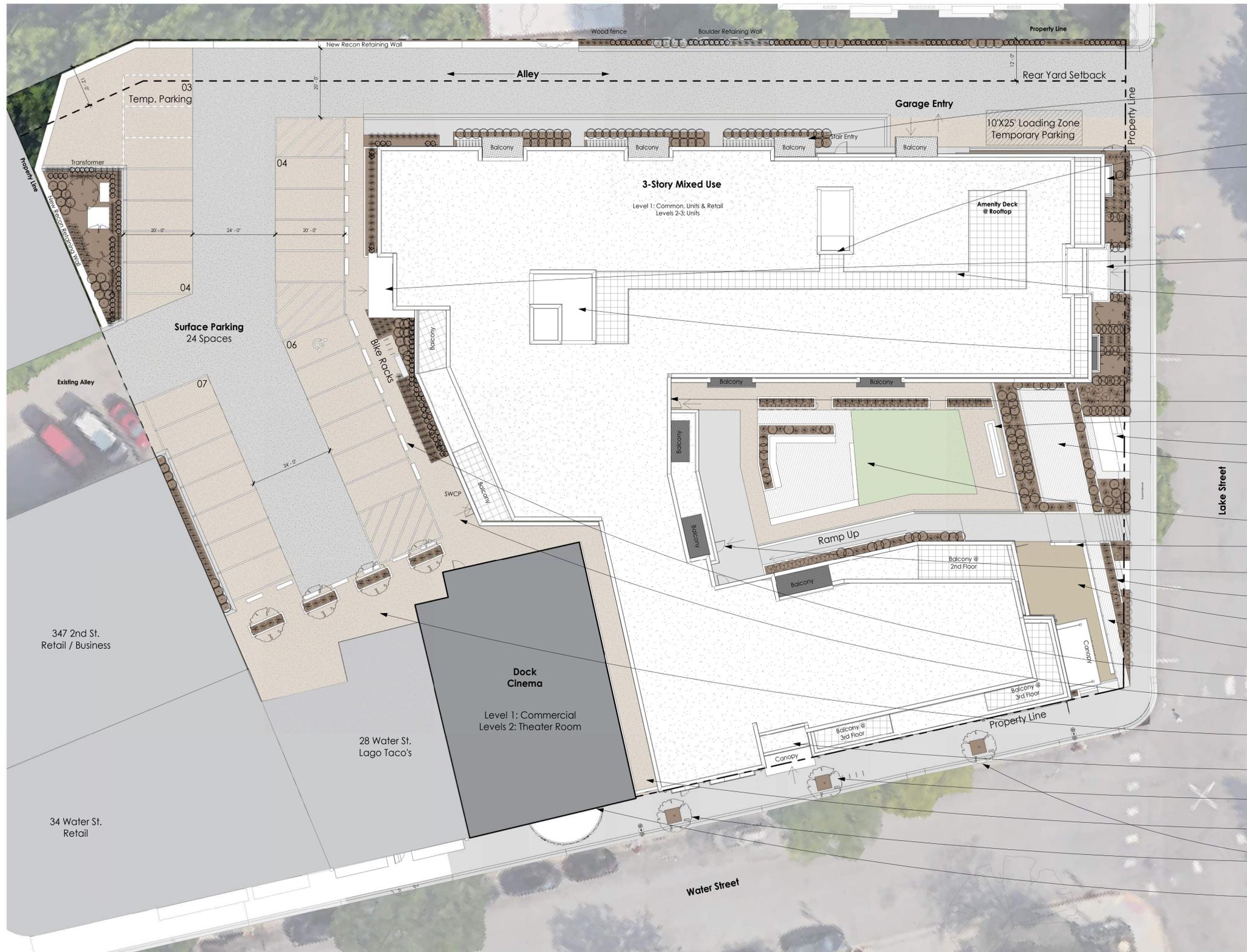


1 Neighborhood Urban Context

SCALE 1" = 60'-0"



Preliminary PUD	04.01.2025
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...	...
...	...



- 1st Floor: Walk up units, Typ.
- 2nd - 3rd Floor: Balconies, Typ.
- Stair Shaft & Access
- 2nd - 3rd Floor: Balconies, Typ.
- Apartment Entry
- Walkway to Amenity Deck
- Elevator Shaft & Access
- Apartment Entry
- Fire Pit
- Public Seating
- Public Porch
- Amenity Deck w/ fire pit area and grill station
- Plaza & Plaza Steps
- Apartment Entry
- Public Seating
- Dining Patio
- ADA Ramp
- Rock Curb Stops
- Retail Corridor Entry
- Colored Concrete
- Retail Entry
- Existing Tree
- Pedestrian Connection/ Alley
- New Tree
- Dock Cinema Renovation
 - Facade Restoration
 - 1st Floor Commercial Space
 - 2nd Floor Theater Room

1 Architectural Site Plan
SCALE 1/16" = 1'-0"

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Lake & Water
10 Water St., Excelsior, MN 55331

Phase

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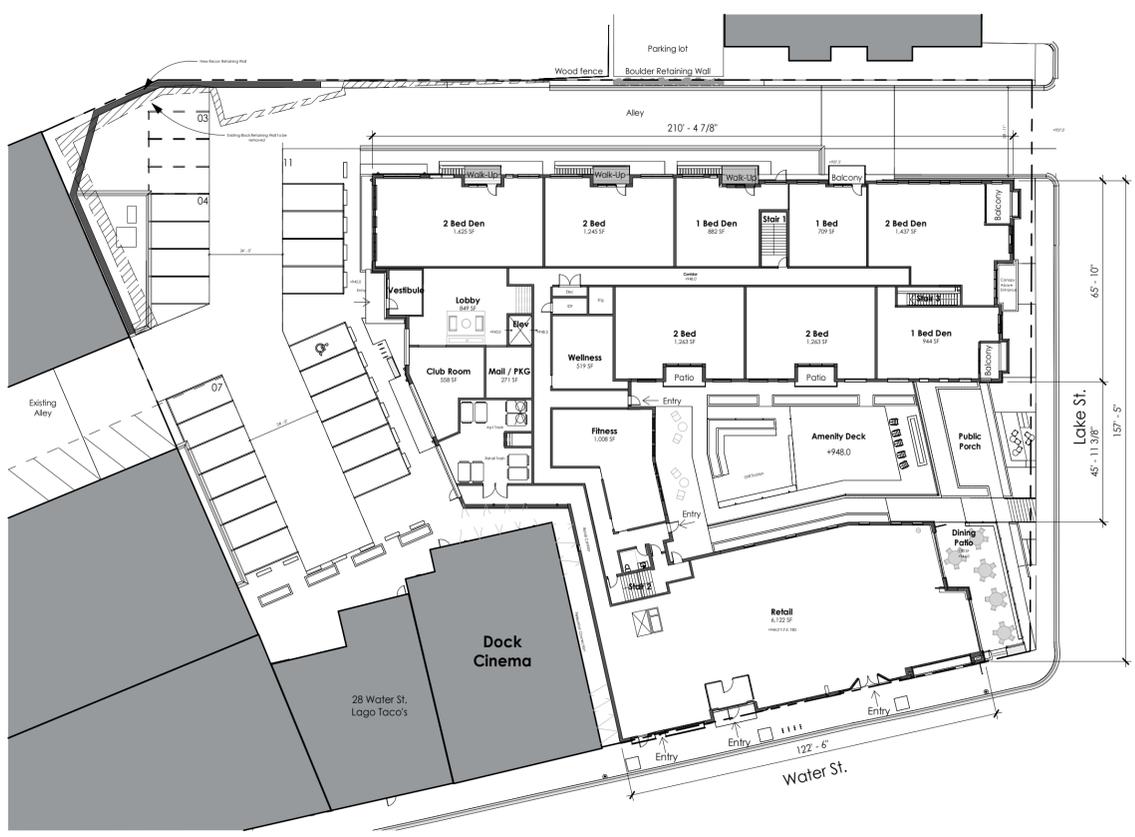
Preliminary PUD 04.01.2025

Revisions

224158A

Floor Plans - 10 Water

A03



1 Level -1 Floor Plan
SCALE 1" = 30'-0"

2 Level 1 Floor Plan
SCALE 1" = 30'-0"



3 Level 2 Floor Plan
SCALE 1" = 30'-0"

4 Level 3 Floor Plan
SCALE 1" = 30'-0"

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10 Water St., Excelsior, MN 55331

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Conceptual Materials

A04



BRICK
GLEN-GERY
SMOKY MT.
WILLIAMSBURG

ALTERNATE A



HEBRON
HARBOURTOWN

ALTERNATE B



GLEN-GERY
CITY LOFT

CAST STONE #1



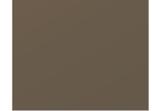
TBD
TO MATCH BRICK

CAST STONE #2



TBD
CHARCOAL

ACCENT #1



ALUCOBOND
DARK BRONZE
ANNODIZED

ALTERNATE



ALUCOBOND
RUSSET MICA

ACCENT #2



ALUCOBOND
TRICORN

ALTERNATE



MAC
BLACK WALNUT



ACCENT #3
ALCUBOND
AZURE BLUE



WOOD
Nichiha
VintageWood
Spruce

ALTERNATE A



ARBOR
ASH

ALTERNATE B



MAC
SMOKED BIRCH



NOT FOR CONSTRUCTION



1 SE Elevation (Water St.)
SCALE 1/8" = 1'-0"



2 NE Elevation (Lake St.)
SCALE 1/8" = 1'-0"

FINISH KEY	
	1 BRICK MASONRY #1 MANUFACTURER: GLEN-GERY OR HEBRON TYPE: MODULAR, 1/3 RUNNING BOND COLOR: SMOKY MT. WILLIAMSBURG, HARBOURTOWN OR CITY LOFT MORTAR: TBD
	2 CAST STONE #1 MANUFACTURER: TBD TYPE: CAST STONE COLOR: TO MATCH BRICK MORTAR: TBD
	3 CAST STONE #2 MANUFACTURER: TBD TYPE: CAST STONE COLOR: CHARCOAL MORTAR: TBD
	4 ACCENT MATERIAL #1 MANUFACTURER: ALUCOBOND OR MAC TYPE: ACM OR NORWOOD COLOR: TRICORN BLACK OR BLACK WALNUT
	5 ACCENT MATERIAL #2 MANUFACTURER: ALUCOBOND TYPE: ACM COLOR: DARK BRONZE ANNOXIDIZED OR RUSSET MICA
	6 ACCENT MATERIAL #3 MANUFACTURER: ALUCOBOND OR SIMILAR TYPE: ACM COLOR: AZURE BLUE OR SIMILAR
	7 WOOD #1 MANUFACTURER: NICHHA, ARBOR OR MAC TYPE: AWP 1818, VERTICAL IN 5 3/8 WIDTH OR NORWOOD VINTAGEWOOD SPRUCE, ASH OR SMOKED BIRCH COLOR: TBD
ADDITIONAL KEYNOTES	
8	ALUMINUM + GLASS RAILING SYSTEM
9	ALUMINUM RAILING SYSTEM
10	PATIO DOOR
11	WINDOW
12	ELEVATOR OVERRUN
13	STAIR OVERRUN
14	STONE BENCH
15	PLANTER
16	SIGNAGE
17	METAL AWNING
18	ALUMINUM CANOPY
19	PREFINISHED METAL COPING
20	WOODEN BENCH
21	STONE PARKING STOP
22	STOREFRONT GLAZING

Prepared For



Project

Lake & Water
10 Water St., Excelsior, MN 55331

Phase

Preliminary PUD

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Issuance

Preliminary PUD 04.01.2025

Revisions

224158A

Building Elevations

A06



1 NW Elevation (Amenity Deck)

SCALE 1/8" = 1'-0"



2 NE Elevation (Amenity Deck)

SCALE 1/8" = 1'-0"



3 SE Elevation (Amenity Deck)

SCALE 1/8" = 1'-0"

FINISH KEY	
	1 BRICK MASONRY #1 MANUFACTURER: GLEN-GERY OR HEBRON TYPE: MODULAR, 1/3 RUNNING BOND COLOR: SMOKY MT, WILLIAMSBURG, HARBOURTOWN OR CITY LOFT MORTAR: TBD
	2 CAST STONE #1 MANUFACTURER: TBD TYPE: CAST STONE COLOR: TO MATCH BRICK MORTAR: TBD
	3 CAST STONE #2 MANUFACTURER: TBD TYPE: CAST STONE COLOR: CHARCOAL MORTAR: TBD
	4 ACCENT MATERIAL #1 MANUFACTURER: ALLUCOBOND OR MAC TYPE: ACM OR NORWOOD COLOR: TRICORN BLACK OR BLACK WALNUT
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	6 ACCENT MATERIAL #3 MANUFACTURER: ALLUCOBOND OR SIMILAR TYPE: ACM COLOR: AZURE BLUE OR SIMILAR
	7 WOOD #1 MANUFACTURER: NICHHA, ARBOR OR MAC TYPE: AWP 1818, VERTICAL IN 5 3/8 COLOR: VINTAGEWOOD SPRUCE, ASH OR SMOKED BIRCH

ADDITIONAL KEYNOTES	
8	ALUMINUM + GLASS RAILING SYSTEM
9	ALUMINUM RAILING SYSTEM
10	PATIO DOOR
11	WINDOW
12	ELEVATOR OVERRUN
13	STAIR OVERRUN
14	STONE BENCH
15	PLANTER
16	SIGNAGE
17	METAL AWNING
18	ALUMINUM CANOPY
19	PREFINISHED METAL COPING
20	WOODEN BENCH
21	STONE PARKING STOP
21	STOREFRONT GLAZING

Prepared For



Project

Lake & Water
10 Water St., Excelsior, MN 55331

Phase

Preliminary PUD

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Revisions

224158A

Building Elevations

A07



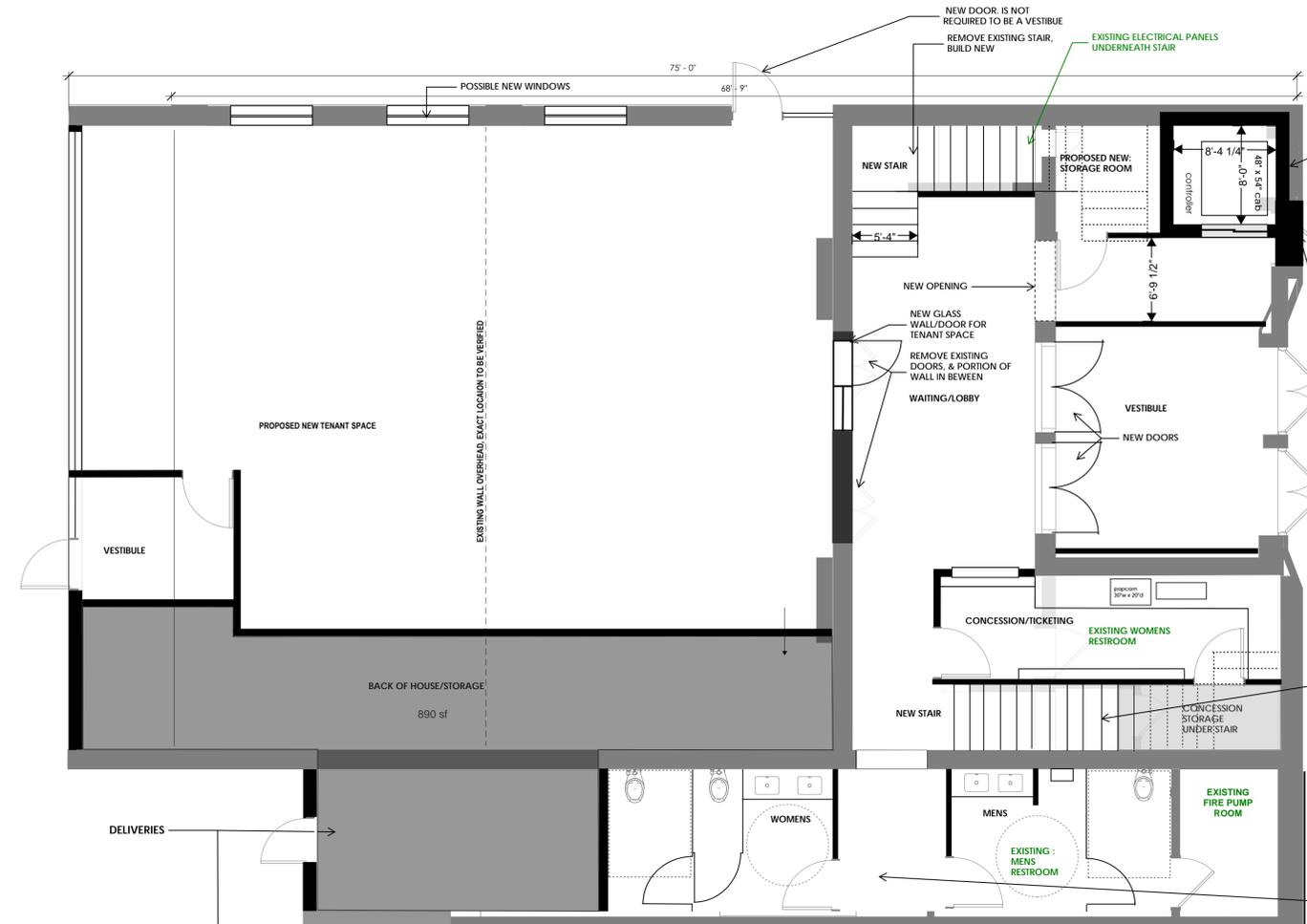
3 NW Elevation
SCALE 1/8" = 1'-0"



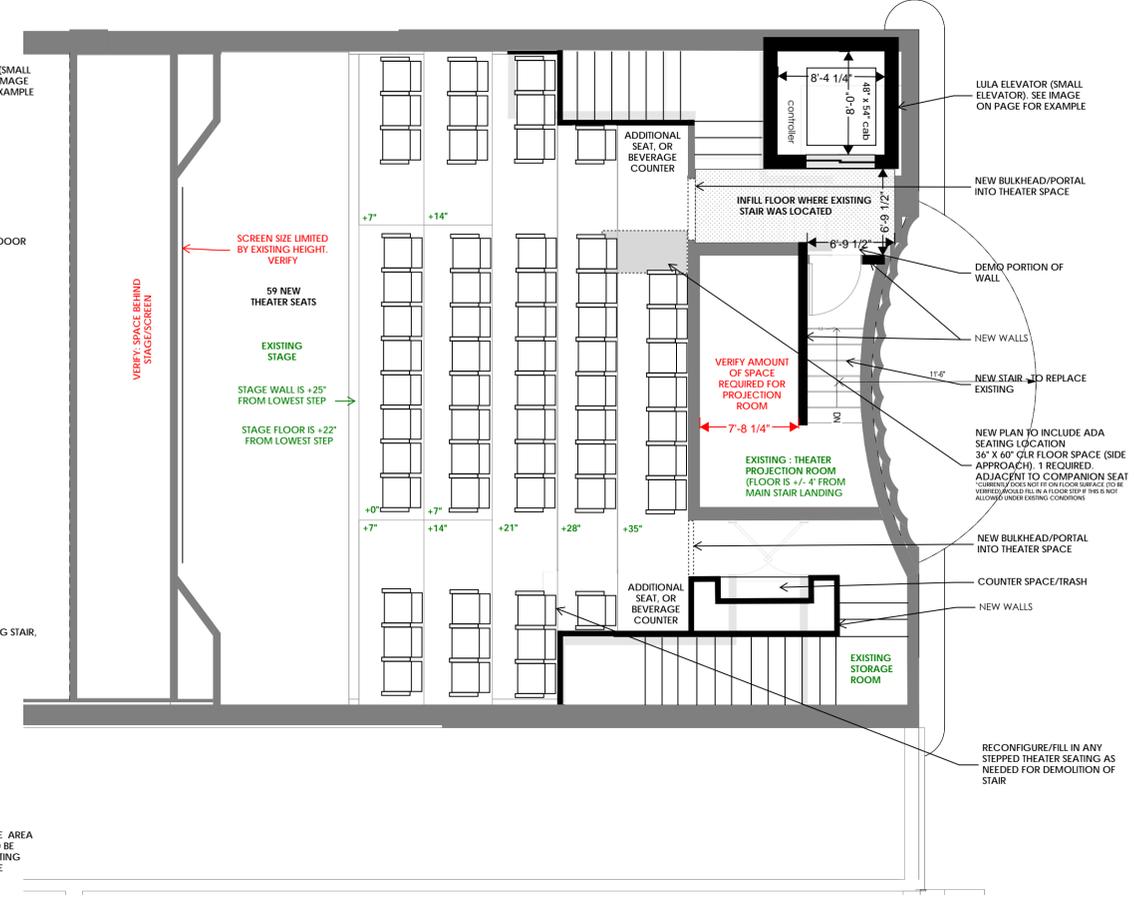
1 SW Elevation
SCALE 1/8" = 1'-0"

FINISH KEY		
	1 BRICK MASONRY #1 MANUFACTURER: GLEN-CERY OR HEBRON TYPE: MODULAR, 1/3 RUNNING BOND COLOR: SMOKY MT. WILLIAMSBURG, HARBOURTOWN OR CITY LOFT MORTAR: TBD	
	2 CAST STONE #1 MANUFACTURER: TBD TYPE: CAST STONE COLOR: TO MATCH BRICK MORTAR: TBD	
	3 CAST STONE #2 MANUFACTURER: TBD TYPE: CAST STONE COLOR: CHARCOAL MORTAR: TBD	
	4 ACCENT MATERIAL #1 MANUFACTURER: ALUCOBOND OR MAC TYPE: ACM OR NORWOOD COLOR: TRICORN BLACK OR BLACK WALNUT	
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ADDITIONAL KEYNOTES		
8	ALUMINUM + GLASS RAILING SYSTEM	
9	ALUMINUM RAILING SYSTEM	
10	PATIO DOOR	
11	WINDOW	
12	ELEVATOR OVERRUN	
13	STAIR OVERRUN	
14	STONE BENCH	
15	PLANTER	
16	SIGNAGE	
17	METAL AWNING	
18	ALUMINUM CANOPY	
19	PREFINISHED METAL COPING	
20	WOODEN BENCH	
21	STONE PARKING STOP	
21	STOREFRONT GLAZING	

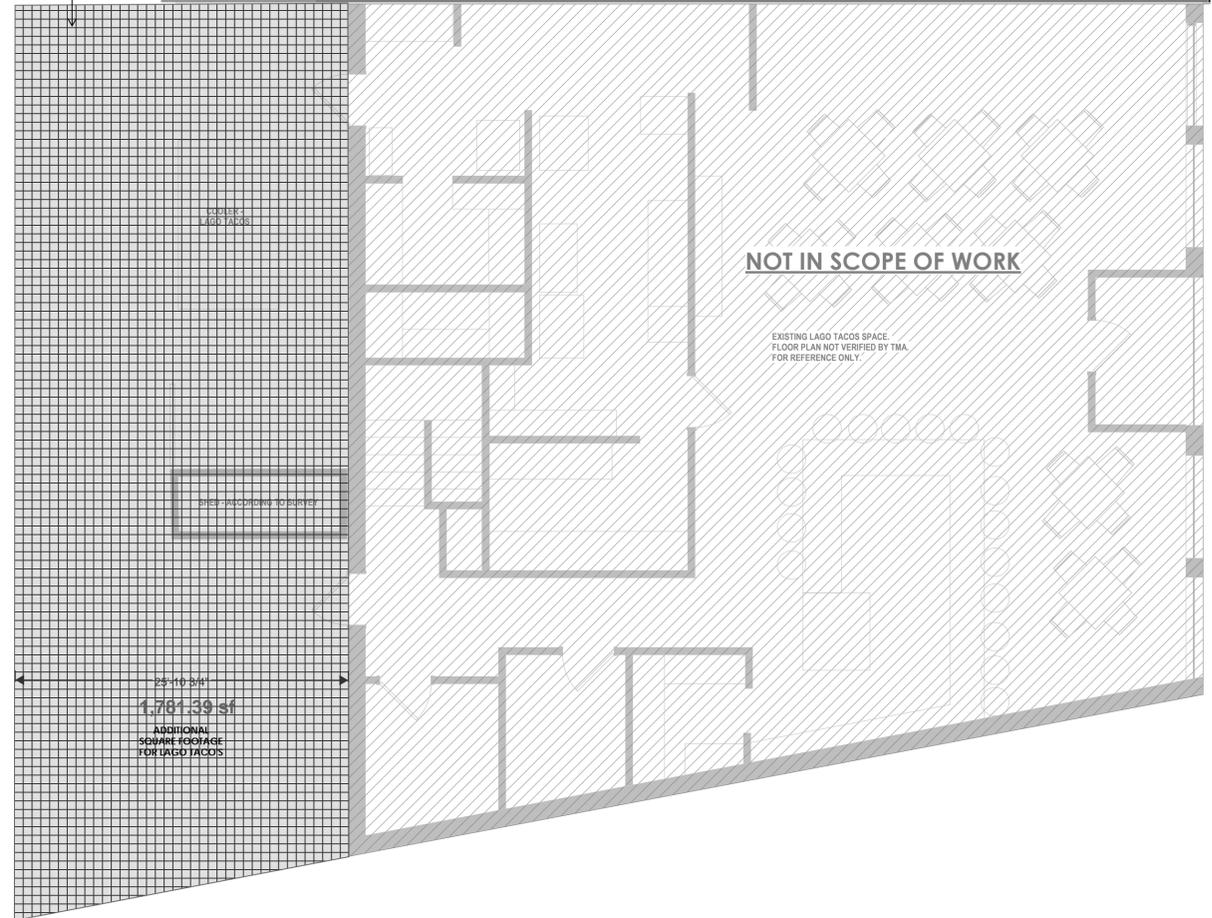
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1 LEVEL 1 FLOOR PLAN - NEW CONSTRUCTION
SCALE 3/16" = 1'-0"



2 LEVEL 2 FLOOR PLAN - EXISTING
SCALE 3/16" = 1'-0"



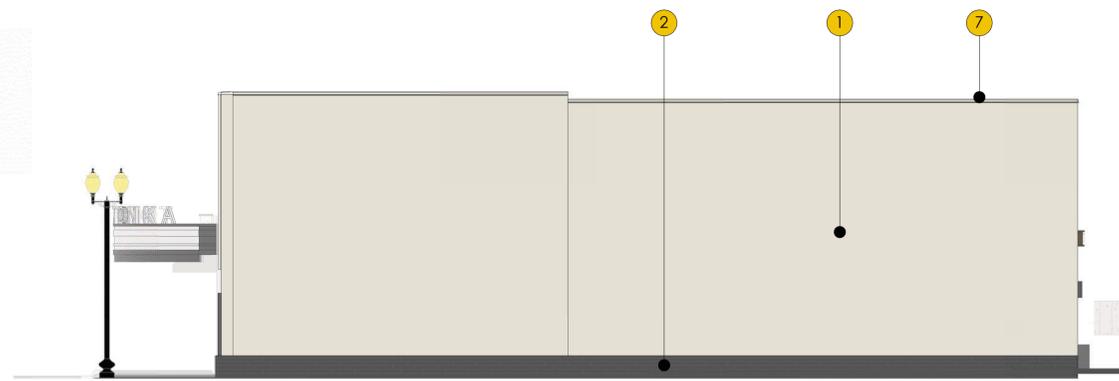
1 LEVEL 1 FLOOR PLAN - NEW CONSTRUCTION
SCALE 3/16" = 1'-0"

**NOT FOR
CONSTRUCTION**

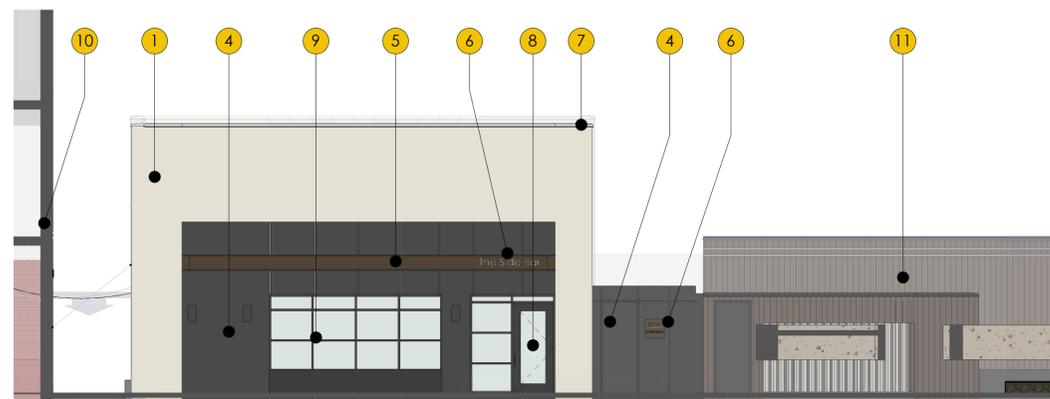
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1 Dock Cinema - SE Elevation
SCALE 1/8" = 1'-0"



2 Dock Cinema - NE Elevation
SCALE 1/8" = 1'-0"



3 Dock Cinema - SW Elevation
SCALE 1/8" = 1'-0"

KEYNOTES	
1	STUCCO
2	STONE
3	VERTICAL WOOD
4	ACCENT MATERIAL #1
5	ACCENT MATERIAL #2
6	SIGNAGE
7	PREFINISHED METAL COPING
8	DOOR
9	WINDOW
10	APARTMENT BUILDING
11	LAGOS TACOS

224158A

Elevations - Dock
Cinema

A09



View Looking Down Water St



View at the Intersection of Lake Street & Water Street



View Looking Across Lake St to Public Porch



View Looking Across Lake St



Apartment Entry Looking Down Alley



Axon Looking at the Corner of Lake Street and Water Street



View From Public Porch Looking to Courtyard



View From Sidewalk Looking to Public Porch